



ARCHITECTURAL GUIDELINES
of the
ORIGINAL NORTHWOOD ASSOCIATION

Prepared by the ONA Covenant Committee
Approved by the ONA Board of Governors

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Introduction

Original Northwood is an historic neighborhood in the Greater Northwood Covenant Association (GNCA). Each property in the GNCA has an attached Deed and Agreement that, among other things, provides for a review and approval process for all exterior changes made to properties within the neighborhood. As a Trustee for the GNCA, the President of the Original Northwood Association (ONA), with support of the ONA Covenant Committee and Board of Governors, is responsible for the enforcement of the review and approval process.

These Architectural Guidelines have been developed by the ONA Covenant Committee and the Board of Governors to assist residents of the community in their consideration of exterior alterations to their properties, whether these changes are minor alterations, a major addition or a new house on a heretofore-vacant lot. The Guidelines provide a standard reference for the appearance of our homes so that they retain their original high-quality historic architectural features, and preserve their value in-keeping with Original Northwoods' status on the National Register of Historic Places.

Anyone planning to make exterior alterations to their property must submit an Application for Exterior Alterations to the Covenant Chair. The Application must be approved prior to proceeding with any work. The application and submission information may be found on our website (<https://www.originalnorthwood.org/covenant-information>).

Once submitted, the application will be reviewed by the Covenant Committee under direction of the Covenant Chair. The review process is straightforward, but it does require some forethought on the part of the applicant and an awareness of the time required for review. If questions arise, these will be communicated to the applicant. The Covenant Chair will present the Covenant Committee recommendations to the Board of Governors for a vote to approve, reject, or table for more information. Approval lasts 6 months from the date of approval.

The Board's decision is generally forwarded immediately to the homeowner (in the form of a letter or electronic mail, at the discretion of the Board) as a binding Board action.

The intent of these Guidelines is to provide a means of communication between between residents and the Covenant Committee regarding what architectural standards are commonly held within our community, to maintain the high aesthetic and construction standards for which Original Northwood is known. They are also intended to help homeowners make sound decisions about changes to their homes

in keeping with Original Northwood's historic status as conferred by the National Register of Historic Places.

The ONA Board (and hence the Covenant Committee) derives its authority to make such reviews and to grant such approvals from the 1931 DEED AND AGREEMENT between The Roland Park Montebello Company and Edward H. Bouton. These Architectural Guidelines supplement the provisions of Sub-Division VI of that agreement. It is the desire of the Committee and the ONA to avoid invoking the enforcement authority of Sub-Division XI as a remedy, preferring instead the process of timely review and approval.

Failing to obtain approval for alterations made, can result in GNCA invoking Subdivision XI of the Deed and Agreements, "Right to Abate Violations", at considerable cost and inconvenience to the homeowner. For this reason, it is essential to seek and secure approval for your proposed alterations before proceeding, to protect you and your property from the risk of costly rectification of violations.

The current version of these guidelines is available on the Original Northwood website, <http://originalnorthwood.org>.

General considerations in using these guidelines

Each Application shall be reviewed on its own merit. That said, the Committee and Board will strive for consistency in the application of the Guidelines. For example, a guideline indicating that wood siding is "acceptable" does not mean that it is appropriate in every instance.

These Guidelines are not comprehensive. Not all ideas a homeowner might have to improve their home can be foreseen by the Committee. They are meant to give guidance. If the Guidelines are silent on a particular type of change you may be considering, do not assume that the item is not required to have an application submitted. Contact the Covenant Committee Chair to determine if the change warrants the submission of an application, before proceeding with any work.

Maintenance vs. Change: Know the difference between these terms: "maintenance" and "change" (or alteration).

- **"Maintenance"** is repairing an existing material, detail or fixture in-kind, meaning using equal material with no substitution or variation as long as the material conforms to the current Guidelines (see page 5 for more on this). For "maintenance" you do not need to file an Application.

- **"Change"** is any repair, replacement, subtraction or addition (an alteration, in other words), whether for maintenance purposes or not, of an exterior architectural feature that involves a departure from the specifics of an existing condition. For "changes" (or alterations) you must file an Application.:

Architectural features include, but are not limited to:

- roofs
- windows
- doors
- gutters
- porches
- shutters
- awnings
- exterior trim
- decks
- fencing
- garages
- sidewalks
- stairs
- railings
- retaining walls
- additions

It is always best to check with the ONA Covenant chair by email at covenant@originalnorthwood.org before proceeding with any work.

For example, if you are **repairing** your roof by replacing a few missing or broken slate tiles that match the existing materials, this would be considered "Maintenance" and not require an Application. However, if you were removing all of the existing slate tiles and replacing them, even with slate tiles of similar material, this would be considered a "Change" and require an Application.

As the Guidelines are updated over time, it is also **important to know if the material you are intending to replace "in-kind" is currently permitted.** The Guidelines need to be followed when replacing an existing condition that is nonconforming. There are many examples in the neighborhood that are currently in direct conflict with the Guidelines; however, they will not be accepted as examples that may be followed for future alterations. If you have a 6-foot-high stockade fence that is non-compliant, you will not be permitted to replace it with a new 6-foot-high stockade fence. In some cases, an item may have been permitted at one time – such as asphalt fiberglass (AFG) shingles or sheds, but is no longer permitted in the current version of the vetted, adopted guidelines. Any replacement of the previously-permitted feature will need to conform to the current guidelines.

A case in point is regarding asphalt fiberglass (AFG) shingle roofs. These roofs were permitted on a few homes during the 1991-1997 period. The Architectural Guidelines were modified in 2002 to exclude AFG shingles, while adding high-grade synthetic slate as an alternative to natural slate for gable roofs on homes and garages. Other examples include sheds, which are no longer permitted as of the 2012 Guideline revisions and chain-link fencing, which has not been permitted since at least 1993.

These Guidelines are subject to change. The Guidelines can be and are expected to be altered from time to time to reflect changes in product availability such as slate substitutes or to reflect changes in community standards. The most current Guidelines are available on the ONA website, <http://originalnorthwood.org>.

The process for proposing changes to the Architectural Guidelines is specific and involves several steps. Should members of the community desire to propose changes to these guidelines, the steps are as follows:

- The neighbor must inform the Covenant Chair that an amendment to the Architectural Guidelines is requested and provide all relevant research materials as requested.
- The Covenant Committee will review these materials and, after having any questions answered by the neighbor requesting the amendment, will make a recommendation to the Board.
- If acceptable to the Board, the proposed amendment will be presented at the next Quarterly meeting of the neighborhood for public comment.
- After incorporating public comment, the Board will vote to approve, reject, or table for more information.
- If approved, an updated version of the Architectural Guidelines will be produced and posted on our web-site and filed with the GNCA and ONA documents in the HOA Depository of the Baltimore City Land Records.

Considerations for designing your project

Inform yourself about the architectural history of the homes in Original Northwood and the original materials and features of your home. Original Northwood is officially listed in the National Register of Historic Places. For more information, review the ONA National Register of Historic Places Application on the ONA website here: <https://www.originalnorthwood.org/s/NR-1199.pdf>

In addition, because of this designation your project may qualify for historic tax credits through the Maryland Historic Trust. More information, and to verify your eligibility for the program, contact the MHT the website: <https://mht.maryland.gov/taxcredits.shtml>

It should be noted that townhouses in the 4111- 4157 The Alameda were built in 1954 and are therefore not part of the Historic District, but they are within the Original Northwood Association and subject to these Guidelines.

Use all the resources you can. Research products, manufacturers and suppliers. Look around this and other neighborhoods, through magazines and books for ideas. Consult with architects, builders and members of the Covenant Committee.

Consider context. Does the project "fit" your house, the houses next to yours and the neighborhood?

Consult your immediate neighbors. Ask for their opinions/consent.

Use quality products and materials. They may cost a little more but they will work better, look better, last longer and they will ultimately increase the value of your property.

Consider maintenance and security. When looking at your project think about if it increases security and ease of maintenance.

Look at every project as an opportunity for improvement that you and others can be proud of, whether it be a small repair or a major addition.

Preparing your Application

It bears repeating: All exterior alterations that involve the addition, removal, or other change in features, materials, or colors to the exterior of your home or garage, require Covenant Committee and ONA Board review and approval before alterations commence. **For clarification of Maintenance vs Change (Alteration) refer to pages 4-6.**

The review and approval process are structured through the preparation of an Application for Exterior Alterations, available on the ONA website. Depending on the complexity of your project, this process may require a few iterations, so plan to submit your application as soon as you have assembled all critical information.

Be complete when filling out your Application for Exterior Alterations. The more complex the project, the more information is likely to be required.

The examples that follow, as well as samples of completed Applications contained in Appendix II of this document, model the types of documentation and level of detail the Board and Covenant Committee will need to fully review your application. Do your best to provide the level of documentation and detail appropriate to the project

being considered. Depending on the complexity of the project, you may need to call on specialized drafting, engineering, or other expertise to assemble the necessary information. Photos of the existing condition should be included and can be provided digitally with your application. If you need assistance, contact the Covenant Chair at covenant@originalnorthwood.org.

Examples:

- **Erecting a fence:** Provide a copy of your plat/location map (you will find a copy with your Deed) and indicate the extent of the work to be done. Indicate where the gate(s) shall be and a dimensional relationship to other landmarks such as your rear property line, the edge of pavement, your or your neighbor's garage, the corner of your house, etc. Also, provide an elevation (frontal view) of the proposed fence and gate. Give details of its construction such as materials and finish.
- **Changing the color of any exterior element of your home:** Provide color chips of the paint or stain that you propose to use and elevation (frontal views) of each side of the house so affected. In lieu of drawings, provide color photos. They show more accurately other existing conditions such as adjacent materials and their colors. Also submit manufacturer's literature, if available.
- **Installing replacement windows and/or new shutters:** Supply dimensioned drawings and manufacturer's literature of the new materials. In addition, provide a drawing showing the new materials in context, as they would appear once in place on your home. Describe accurately what they are intended to replace. Include photographs of the house and existing windows/shutters.

If you have questions about what information to provide, feel free to ask the Covenant Chair (covenant@originalnorthwood.org) for assistance.

Specific Guidelines by Type of Architectural Feature

1. Exterior Walls/Siding/Trim

All replacements, additions, and alterations to the appearance of exterior walls or siding must be approved by the Covenant Committee. The most commonly used and most readily accepted exterior wall materials are wood siding, brick, stone, and stucco. Other siding materials may be acceptable but they will be scrutinized very carefully for compatibility with the architectural character of the neighborhood. In the case of wood siding, the plank width, orientation (vertical or horizontal), and detailing of the original siding and trim should be maintained.

For landscape and retaining walls, see Section 17.

2. Paint

Paint and wood stain colors for structures, trim, shutters, doors and all painted elements must be approved by the Committee. Traditional historic and period appropriate colors and color combinations are required. Colors should harmonize and compliment the architectural style (Colonial, Georgian, Tudor, etc.) and materials (wood, stone, stucco, brick) of the house. Neutral and muted tones are encouraged. Medium and dark red as well as black will also be considered on a case by case basis. Bright, pastels and “neon” shades are not acceptable.

Color samples, photographs, and a description of where the colors will be applied must be submitted along with the application. Semi-detached and row homes must be consistent with other houses in their group. This applies to color treatments of wood trim, exterior siding, shutters, windows and all other significant elements of the property.

3. Awnings

Fabric (canvas) awnings are acceptable at windows and porches. All awnings will be scrutinized for scale, color and supporting structure. All Awnings must be approved by the Committee and Board. If you are considering awnings, pay heed to the type of material, color and/or pattern, support system and location of each awning and how these factors will affect other aspects of your house. Metal awnings are not acceptable.

4. Doors & Storm Doors

Traditional wood paneled doors, painted to match, complement or contrast with other wood trim are readily acceptable. Other materials (metal, fiberglass) will be considered if they have the appearance of wood. Designs must be consistent with the original character /architectural style of the house. Consider compatibility of styles if you intend to replace an existing door with a new one of a different design.

Doors with stained or patterned glass – including oval glass panel doors - are not permitted. Doors with embedded fan-lites are not permitted. Sliding doors are not permitted.

Storm doors should be stylistically compatible with the entrance door whose opening they share as well as with the other features of the exterior. Full view glass storm doors are acceptable. Storm doors with security grills are not permitted.

In the case of row homes and semi-detached houses, doors and storm doors must be stylistically compatible with those of other units in their group.

Garage Doors: Two types of garage door are common: traditional panel overhead doors and paneled, hinged doors. These types are acceptable in wood and metal, depending on detailing.

5. Windows & Storm Windows

Windows: Windows on all homes must be historically accurate to the house. Deviation from the original type and lite patterns – such as switching from a diamond patterned casement to a double hung type with rectangular lites - is not acceptable. Window trim items such as brick mold should be reused or replicated.

Figure 5.1 below depicts the different standard elements and historically accurate proportions of traditional double-hung windows common in Original Northwood.

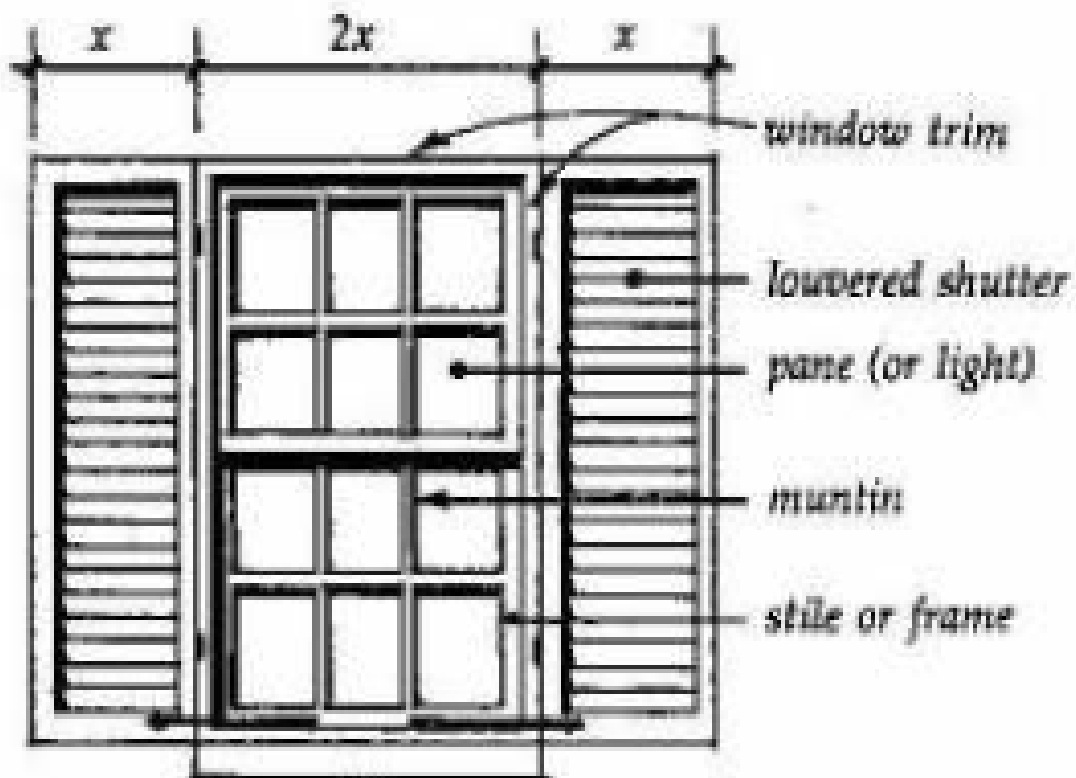


Figure 5.1. Typical double hung window. Note that each shutter is half the width of and just as long as the window

Wood, vinyl-clad wood, high-quality vinyl, and painted metal (including aluminum) windows are all acceptable.

“High-quality vinyl” windows are defined as follows:

1. they have a government-approved Energy Star rating;
2. they have a government-approved NFRC National Fenestration Rating Council) certification;

3. (they have been rated by the American National Standards Institute, Inc (ANSI) or the American Architectural Manufacturers Association (AAMA);
4. they have at least a 20-year warranty to cover material defects;
5. they are constructed from virgin vinyl;
6. they are constructed with heat-welded joints.

Regardless of the material used to construct your windows, you should be prepared to submit manufacturer's cut sheets on the product you propose to use that give detailed information about the window's construction and appearance. You will, of course, also need to show how these windows will look on your house. For custom-built windows, drawings and specifications will be required. To assist you there is a Replacement Window Worksheet in Appendix III of this document.

Most of the homes in Original Northwood were designed with divided light windows. Double and single-hung windows typically have six or eight panes in the upper sash and a corresponding number in the lower sash. Some homes were originally designed with windows that did not follow this otherwise standard pattern of sash division. Unless it can be determined that your home falls into this latter category then expect to use muntins producing the appropriate pattern of sash division in your replacement windows.

Individual window elements, including the muntins that divide the windows into panes (lites), and the stiles (or rails) which form the frame of each sash, should be similar in dimension and style to the typical wood double-hung or casement windows found throughout the neighborhood. They should also be historically accurate to the house.

Windows meant to replace existing divided light windows shall have true or simulated divided light. Internal grids sandwiched between two layers of glass are not acceptable, as these products fail to provide the shadow lines and expressed muntins that true divided lite windows provide.

To achieve divided light, at a minimum, fixed three-dimensional (3-D) **EXTERIOR** muntins (on both inside and outside faces of the window) are required. Wood, vinyl clad wood and high-quality vinyl windows often have grille options and it is generally possible to get divided lite (either true-divided lites (TDL) or simulated -divided lites (SDL's) grilles. **See Figures 5.2 and 5.3 on page 12.**

Storm Windows: Must be submitted for approval and painted to match the color of the windows.



Figure 5.2 - Image of True-Divided Lite (TDL) window. Double pane glass is sandwiched between muntins on both faces of the window.



Figure 5.3 - Image of Simulated Divided Lite (SDL) window. Both inside (shown in wood) and outside (shown in hollow metal) muntin's are applied to double pane glazing (glass).

6. Shutters

Few people today use shutters as they were originally intended but this does not alter the fact that shutters constitute **fundamental architectural elements**. They originally served the functions, when closed, of keeping out light, rain or prying eyes while allowing air to circulate.

Shutters are integral to the design and character of many homes in Original Northwood, and may not be removed, altered or replaced without specific approval from the Committee. Shutters and operable hardware are to be maintained on all openings as on the original house design, particularly on all facades visible from a public way. Hardware must be historically accurate.

All homes that had shutters originally should maintain a single type of shutter for all affected windows. Similarly, the shutters on **semi-detached and row homes** must be consistent with those of other houses in their group, with respect to shutter style, color and location.

Wood shutters are recommended although other materials will be considered. In all cases, material thickness at the edge should be at least one and $\frac{1}{8}$ inches. Louvered and raised panel shutters (see Figure 6.1) are appropriate in most cases, as long as the principle of consistency in a given home or group is maintained.



Figure 6.1 - Illustration of shutter styles and relationship to window opening.

Correct, proportional shutter size dimensions are both esthetically and functionally important. The height and width of each shutter should be such that if closed, the shutter would fully cover half of the window opening (see Figure 5.1 in the previous section).

Only single and double-hung windows traditionally have accompanying shutters. The reason for this has to do with the operation and configuration of the various types of windows. Double- and single-hung windows are the only traditional window types whose operation will not conflict with the operation of shutters. Since Original Northwood also has many other window types (casement, awning and projected, pivoting, bow and bay) according to home style, you'll find both shuttered and un-shuttered windows in homes across the neighborhood.

7. Gutters & Downspouts

Gutters cannot differ from downspouts in material. They may be copper, aluminum or galvanized metal. All non-copper gutters and downspouts must be painted. Straps and anchors used to attach these materials to the house shall be compatible in every respect. Gutters and downspouts must be compatible in size as well as being properly sized to carry off rainwater.

Half-round gutters are required in most cases. Ogee-shaped gutters are not permitted except on The Alameda, where this style was original to these homes. See figure 7.1 below.

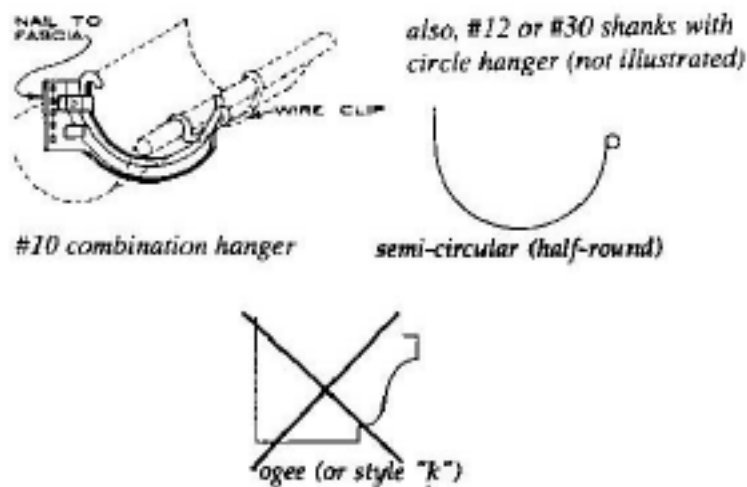


Figure 7.1 Gutter styles. Note: Ogee or "K" Style gutters only permitted on the Alameda.

Semi-detached and row homes must be consistent with other houses in the same group with respect to sizes, styles and colors of gutters and downspouts.

8. Flashing

Flashing refers to the metal trim, usually located where a roof meets a wall, where a roof changes direction or where an object such as a chimney penetrates a roof. Its purpose is to prevent water penetration where materials meet. Flashing is required to be copper.

9. Parking Pads

Exposed aggregate concrete, brick and flagstone pads are acceptable. Asphalt, crushed stone, gravel or unpaved parking areas are not acceptable.

10. Carports and Sheds

Carports are not acceptable.

Sheds are not acceptable. Existing sheds are acceptable so long as they are maintained but must be removed in their entirety once they are no longer maintained. Existing sheds may not be replaced with new sheds.

11. Fences

Painted, stained or pressure treated wood fences are acceptable. Aluminum and wrought iron fences are acceptable under special circumstances. Chain-link fences are unacceptable. Stockade fences and solid wood fences with no spacing of members are ordinarily not acceptable.

Historically, one of the appealing features of the Original Northwood development has been the open park-like setting afforded by low, open fences. Fences should not be used to eliminate views across neighboring properties but rather to enclose space to keep children and pets in or out, to create the illusion of an outdoor room or to act as a psychological deterrent to trespassers. Fences at front yards are not acceptable. Side yard fences may not extend into the front yard and typically not beyond the mid-point of the side of the house.

Fences should be compatible with neighboring fences in material, style and height. Heights, except under special circumstances, shall not exceed five feet and **should normally be 42"**. **Fences over 48" in height must be open – not board on board** (see Figure 11.1).

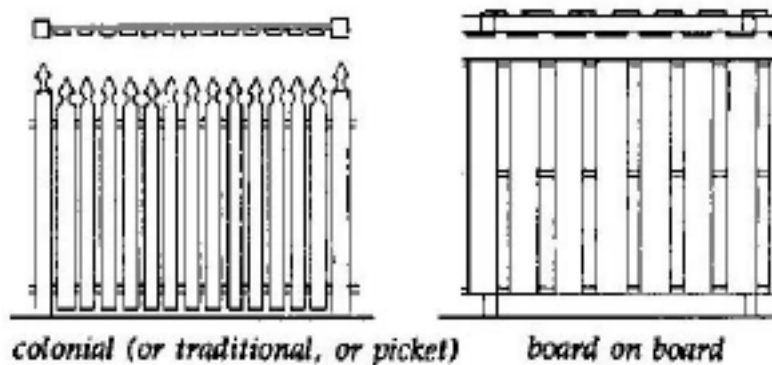


Figure 11.1 Typical fence styles found in some backyards of Original Northwood

12. Roofing Materials

Regarding roof replacements and/or construction, the ONA recognizes roofing materials meeting or exceeding the following parameters when proposed to the Covenant Committee for review and approval.

Most of the homes in Original Northwood were designed with natural slate roofs with slate or metal roofs at porches. The townhomes 4111-4157 The Alameda were constructed in 1954 and feature flat roofs, which may be replaced with built-up or

membrane roofing. Garages that feature pitched roofs must also follow this standard. Garages with flat /low sloped roofs may have built-up or membrane roofs.

For use on **detached residences**, shingles of natural slate stone or synthetic slate will be considered. Asphalt shingles are not acceptable. The owner shall select a synthetic slate having the color and appearance of natural slate stone. Furthermore, the synthetic slate shall be a Class A roof warranted for a minimum of twenty-five years.

Wood and clay tile roofing products are not acceptable. Standing seam copper, terne or painted metal material may be used on porch roofs if, in the opinion of the Committee, such use is consistent with the overall design of the dwelling.

For natural slate and synthetic slate roofs, ridges and valleys are to be constructed in accordance with common practice to replicate the appearance of the original. In order to preserve the established character of the Original Northwood roofscape, valleys and all visible flashings shall be copper. Where copper joins masonry surfaces, 1/2" tucked joints are the required installation method. "Nail and glue" installations are not acceptable. This flashing parameter applies to all roofing materials. Ridge caps at main roof ridges and hips are not permitted.

For **semi-detached and row houses** the same parameters as those that apply to detached dwellings apply also. In addition, the following apply. In the event of approval of a synthetic slate replacement roof, the first residence in a group or pair to receive approval shall set the synthetic slate standard to which all other residences in the group or pair must adhere when and if they seek to replace their roofs. This synthetic slate standard, however, does not prohibit subsequent re-roofing with natural stone slate. This standard shall insure compatibility and consistency of appearance within a row or group. Simultaneous re-roofing within rows or pairs of semi-detached homes is expressly encouraged for economic and esthetic reasons. The Covenant Committee may notify adjacent owners of an approved replacement roof request so those owners are aware of the governing selection if they choose not to re-roof at the same time. The Covenant Committee reserves the right to contact roofing contractors prior to commencement of work for the purpose of making them aware of ONA roofing standards.

In all cases, natural slate stone and synthetic slate roofing materials of the same size, thickness, exposure and of a color as close as practicable to the adjacent slate will be considered for approval by the Committee. It is extremely important, therefore, that the detail for abutting the adjacent roof also be approved by the Committee. Subsequent adjacent re-roofing shall be lapped and integrated with the first roof.

Application for changes normally take into consideration the consensus and views of immediate neighbors. Perhaps with no other change is this consideration more

important than with roofing changes. While a consensus within a row or group will be sought for proposed change requests it will nonetheless be the responsibility of the Committee to review and recommend approval or disapproval for all such requests weighing all the important factors.

13. New Construction

Any major addition or a completely new home considered for approval must undergo a two-phase submittal process. Firstly, the Schematic Design Submission must be approved. Secondly, the Construction Documents Submission must be approved. Both submissions must consist of (at a minimum) professionally prepared drawings showing plans, elevations, sections, and details of doors, windows and other major features of the dwelling, all appropriately noted and dimensioned. Samples of finish materials and a color scheme shall accompany the Schematic Design Submission. Additional samples may be required for the subsequent submission.

If the proposed construction is an addition or major alteration of an existing dwelling, then the drawings shall include sufficient detail of the existing structure to determine how well the new work is integrated with the old.

A site plan showing all proposed construction, landscape and grading features, property lines and easements and the relationship to adjacent properties and structures shall also be required.

14. Exterior Equipment

Exterior equipment includes items such as but not limited to: satellite dishes, air conditioning condensers, solar panels, hot tubs, and permanent fire pits. As a general rule, these items should be installed so that they are hidden from street view and do not interfere with the aesthetic of the historic neighborhood.

Additionally, satellite dishes should be no larger than 1 meter in diameter. Please include information on size, location, and color in the application.

15. Sidewalks

Sidewalks adjacent to streets (footways) must be exposed aggregate, consistent with the paving original to the neighborhood. Some streets feature black aggregate; new sidewalks in these areas must match this standard. New curbing shall match the original curb where installed.

Sidewalks from street footways to houses must be exposed aggregate concrete, natural stone or synthetic stone pavers or clay brick. Asphalt and concrete brick are not permitted.

Paths and walkways in side and rear yards may be of any material, however, if the

walkway is poured concrete, it must be exposed aggregate.

16. Patios and Hardscaping

Patios and other hardscaping, with the exception of sidewalks as indicated in section 15 and Retaining Walls per Section 17, may be of any material and do not require the approval of the Committee.

17. Landscape and Retaining Walls

Retaining and landscape walls must be of wood, natural stone, synthetic stone, stucco, or clay brick. Unfaced poured concrete or exposed concrete masonry units (CMU) are not permitted, but concrete or CMU may be used as a “back-up” material for retaining walls faced with natural stone, synthetic stone, clay brick or stucco.

18. Railings

Original railings at porches were of wood or wrought iron, depending on the architectural style of the house. New or replacement railings should follow the material and styling of the original railings. Railings at sidewalks and stairs from public sidewalks were originally wrought iron and vary in detailing from street to street or block to block. New or replacement railings should be stylistically similar to the railings of adjacent homes.

Useful Resources on Architectural Styles

A Field Guide to American Houses, Virginia & Lee McAlester, Knopf, 1984, 525p, numerous photos and illustrations (quality paperback)

The Brand-New Old House Catalog, Lawrence Grow, Warner Books, 1980, 225p, photos and illustrations

Traditional Details for Building Restoration, Renovation & Rehabilitation (from the 1932- 1951 Editions of Architectural Graphic Standards), Ramsey/Sleeper, Wiley, 1991, 285p, excellent drawings and details.

Architectural Graphic Standards, Eighth Edition, Ramsey/Sleeper, Wiley, 1988, 854p, excellent drawings and details. Home Repair & Improvement Series, the Editors of Time-Life Books

Magazines such as these are also good sources:

- Fine Homebuilding
- Old House Journal/This Old House Magazine and website.
- Clem Lebine's Traditional Building

Appendix I. Relevant sections (Subdivision VI; Subdivision XI) of the 1931 Deed and Agreement governing Covenant review of Applications for Exterior Alterations

The 1931 DEED AND AGREEMENT between The Roland Park Montebello Company and Edward H. Bouton is the instrument that, among other things, governs additions and alterations to property in Original Northwood and other neighborhoods of Greater Northwood. The authorities of the “Company” laid out in the Deed and Agreement eventually passed to the Greater Northwood Community Association (GNCA), on whose behalf the Original Northwood Association Board and Covenant Committee carry out the task of review for the neighborhood according to the by-laws of the two Associations.

The Deed and Agreement serves as the basis for all reviews of Applications for External Alterations submitted by Homeowners in Original Northwood to the ONA Covenant Committee. The Original Northwood Architectural Guidelines have been drawn up to supplement the provisions of Sub-Division VI so that Homeowners may have a clearer understanding of what is generally regarded by the Committee and the ONA Board as permissible and what is not. It is the desire of the Committee and the ONA to avoid having to invoke the authority of Sub-Division XI as a remedy, preferring instead the process of timely review and approval of applications.

Excerpts from the 1931 Deed and Agreement between the Roland Park Montebello Company and Edward H. Bouton:

SUB-DIVISION VI. APPROVAL OF PLANS

No building, fence, wall or other structure shall be commenced, erected or maintained on said tract nor shall any addition to or change or alteration therein (including any retreatment by painting or otherwise of any exterior part thereof) be made, until the plans and specifications, showing the nature, kind, shape, height, materials, floor plans, color scheme and location of such structure and the grading plan of the plot to be built upon shall have been submitted to, and approved in writing by, the Company, and a copy thereof, as finally approved, lodged permanently with the Company;...

The Company shall have the right to refuse to approve any such plans or specifications, grading plan or material that are not suitable or desirable, in its opinion, for aesthetic or other reasons; and in so passing upon such plans, specifications, grading plan or material it shall have the right to take into consideration the suitability of the proposed building, awning or other structure and of the materials of which it is to be built, to the site upon which it is proposed to erect the same, the harmony thereof with

the surroundings and the effect of the building, awning or other structure or the roadway, as planned, on the outlook from the adjacent or neighboring property.

Approval given hereunder shall become null and void unless construction is begun within six (6) months from the date of such approval and completed with reasonable expedition.

SUB-DIVISION XI. RIGHT TO ABATE VIOLATIONS

Violation of any restriction or condition or breach of any covenant or agreement herein contained shall give the Company, in addition to all other remedies, the right to enter upon the land, upon or as to which such violation or breach exists, and summarily to abate and remove, at the expense of the owner thereof, any structure, thing or condition that may be or exist thereon contrary to the intent and meaning of the provisions hereof, and the Company shall not thereby be deemed guilty of any manner of trespass for such entry, abatement or removal.

Appendix II. Examples of submitted Applications for Exterior Alterations

The following are examples of submitted Applications for Exterior Alterations. Specific identifiers have been removed to respect parties' right to privacy.

Application for Exterior Alterations

PLEASE NOTE: No exterior change to any residential property covered by the deed and covenant restrictions administered by the Association may be undertaken without the prior written consent of the GREATER NORTHWOOD COVENANT ASSOCIATION. City of Baltimore building permits do not constitute approval by the Association, although a building permit may be required. Submit all applications by the end of the month for review the following month. The Committee meets the second Tuesday of each month.

Submit completed form and supporting materials to 4010 Southview Road, Baltimore 21218
W=329-3418 • F

Property Owner _____ Phone _____ Date 5-8-96

Owner's Address Southview Road Baltimore MD 21218

Address of Property to be Altered _____

Desired dates: To Start Work: 5/18/96 To Complete Work: 6/1/96

Who will do the work? Self Contractor

If contractor, is contractor licensed to do this work? YES NO

Provide contractor's name, address, phone number and license number: (410) 298-5939

Spectrum Painting Co. 3122 Thornfield Rd. Balto. MD 21207 Lic #0353741

Provide a detailed description of the proposed change(s). Please attach architectural plans or other dimensioned drawings. Note existing conditions as well as all proposed changes. Identify materials, and include samples for color and texture. Provide manufacturer's literature, if available, and please be certain to identify sizes and models specific to your proposed installation. A photograph of the affected portion of the house is particularly useful both as a record and for seeing the context of the change.

Exterior Painting - we propose to change the colors on our house. The current colors are white trim and golfing green on the shutters. We are changing to Snow Ballett trim and Earthbound Green shutters. We have enclosed samples of these colors for your approval

Signature of Homeowner: _____ [Signature]

FOR COMMITTEE USE ONLY:

Date Received: May 8, 96 Date of Committee Review: 5/13/96

Committee Recommendation: Approval

Board Action: Approved: Disapproved: _____ Date of Board Action: 5/21/96

Greater Northwood Covenant Association

Application for Exterior Alterations

PLEASE NOTE: No exterior change to any residential property covered by the deed and covenant restrictions administered by the association may be undertaken without the prior written consent of the GREATER NORTHWOOD COVENANT ASSOCIATION. City of Baltimore building permits do not constitute approval by the association, although a building permit may be required.

Submit complete form to:

Property Owner _____ Phone _____

Owner's Address NORTHVIEW RD. BALTIMORE, MD. 21218

Property to be Altered Address SAME

Expected Dates
To start work 7/1/90 To complete work 9/1/90

Who will do the work? Self _____ Contractor _____

If contractor, is contractor licensed to do this work? _____

If contractor, provide name, address & phone number _____

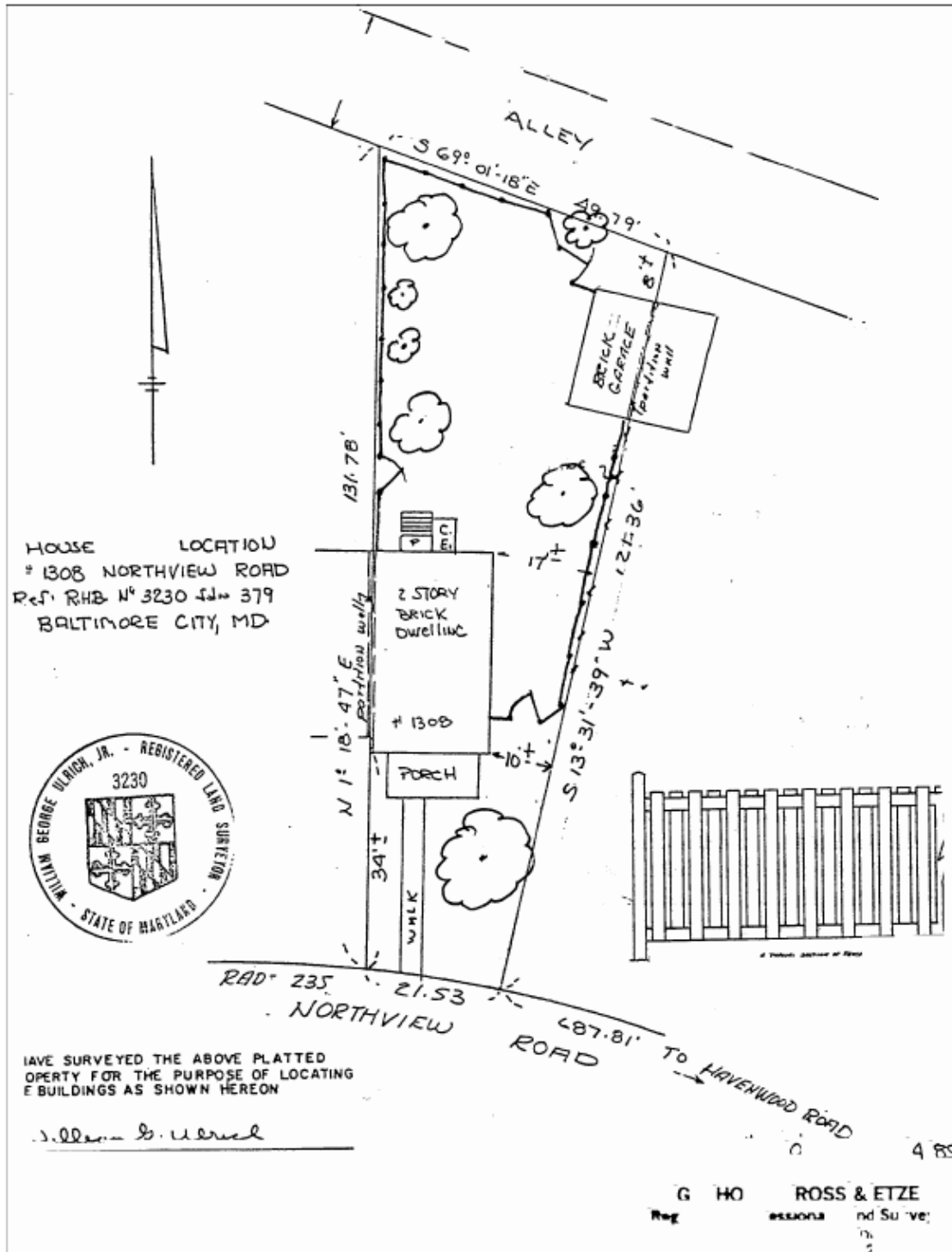
Detailed description of proposed change:

Please attach architectural plans or other drawings. Note existing conditions and all proposed changes. Identify materials and include samples of proposed color changes.

Construction of a 4.5' high fence enclosing back and side yard.
Fence to be constructed of:

- 5' high 4"x4" pressure-treated posts set in concrete
- 2"x4" " " stretchers
- 4' high 1"x4"x4' vertical boards in "alternate board" or "good neighbor" pattern. (2" space between each alternate board)
- 3 single leaf 3'6" wide x 4.5' high gates of same pressure-treated wood.
- wrought black gate hardware by Williamsburg Blacksmith.

Have approval of both adjoining neighbors.



Application for Exterior Alterations

P

LEASE NOTE: No exterior change to any residential property covered by the deed and covenant restrictions administered by the Association may be undertaken without the prior written consent of the GREATER NORTHWOOD COVENANT ASSOCIATION. City of Baltimore building permits do not constitute approval by the Association, although a building permit may be required. Submit all applications by the end of the month for review the following month. The Committee meets the second Monday of each month.

Submit completed form and supporting materials to

Baltimore, MD 21218.

Phone: 335-7768 FAX: 235-0124

Property Owner EE Phone _____ Date 10-5-96

Owner's Address Rose Hill

Address of Property to be Altered Rose Hill Rd

Desired dates: To Start Work: Nov 6 1996 To Complete Work: Same Day

Who will do the work? Self Contractor

If contractor, is contractor licensed to do this work? YES NO

Provide contractor's name, address, phone number and license number:

TED'S OVERHEAD DOOR 1203 BUSH ST BALTIMORE MD 21230 752-6267 953949

Provide a detailed description of the proposed change(s). Please attach architectural plans or other dimensioned drawings. Note existing conditions as well as all proposed changes. Identify materials, and include samples for color and texture. Provide manufacturer's literature, if available, and please be certain to identify sizes and models specific to your proposed installation. A photograph of the affected portion of the house is particularly useful both as a record and for seeing the context of the change.

WE PROPOSE NO CHANGE TO THE EXISTING GARAGE EXCEPT FOR THE DIRECT REPLACEMENT OF THE WOOD PANEL DOOR. PANEL CONFIGURATION REMAINS THE SAME INCLUDING WIDTH AND HEIGHT DIMENSIONS. ACTUAL RAIL AND STILE DIMENSIONS MAY VARY SLIGHTLY FROM ORIGINAL BUT BY NO MEANS BE VIABLE. DOOR WILL BE PAINTED BY HOME OWNER IN ACCORDANCE WITH COVENANT. COLOR TO PAINT DUCK CHESTNUT BROWN (S.A.M. AS LEVEL TRIM COLOR)

Signature of Homeowner: _____

366-4854

FOR COMMITTEE USE ONLY:

Date Received: 10/5/96 Date of Committee Review: 10/7/96

Committee Recommendation: Approval with understanding that the door will not contain windows

Board Action: Approved: Disapproved: _____ Date of Board Action: 10/14/96

Appendix III. Window Replacement Worksheet

Please use the following worksheet to ensure that you have gathered all the required before submitting your Application for Exterior Alterations. THIS FORM DOES NOT REPLACE THE APPLICATION FOR EXTERIOR ALTERATIONS and should only be used as a guideline to help you organize the information you need to provide on the Application. This form may be attached to your application along with the documentation.



WINDOW REPLACEMENT WORKSHEET FOR APPLICATION FOR EXTERIOR ALTERATION

Please use this worksheet to ensure that you have gathered all the required before submitting your Application for Exterior Alterations.

THIS FORM DOES NOT REPLACE THE APPLICATION FOR EXTERIOR ALTERATIONS and should only be used as a guideline to help you organize the information you need to provide on the Application. This form may be attached to your application along with the documentation.

A. DOES YOUR WINDOW SELECTION MEET THE FOLLOWING CRITERIA?

Material: wood high-quality vinyl (see note #1) vinyl-clad wood

Divided-Lite Construction (SDL's or TDL's): Required (see note #2)

Notes:

- 1) See section C below for additional requirements and information needed for "high-quality vinyl" windows.
- 2) Divided-Lite pattern must match that of the original windows. Existing non-compliant windows and lite patterns are not acceptable as examples to be followed for proposed alterations.

B. INCLUDE THE FOLLOWING INFORMATION REGARDING:

- The construction and appearance of the windows. (This information is usually included on the manufacturer's cut sheet/brochure, or for custom-made windows, it may come in the form of drawings/specs sheet)
- Color
- Divided light construction/design
- Number of divisions/panes
- Style of muntins (grills)
- Detail of Jamb and Trim (brick mold etc.)

3. FOR HIGH-QUALITY VINYL WINDOWS, INCLUDE ADDITIONAL INFORMATION REGARDING:

- Energy Star rating of the windows.
- National Fenestration Rating Council (NFRC) certification.
- American National Standards Institute (ANSI) or American Architectural Manufacturers Association (AAMA) rating.
- Warranty information. (Must have at least a 20-year warranty to cover material defects)
- Use of virgin- or first-use vinyl documentation (Not recycled/not composite)
- Joint construction of the windows? (MUST BE WELDED)